

ADDENDUM NO. 1

March 22, 2023

227991

**RE: WHOLE VILLAGE FAMILY RESOURCE CENTER
 PARKING LOT REPLACEMENT**

FROM: DuBOIS & KING, INC.
 36 Penn Plaza
 Bangor, Maine 04401
 (207) 573-4130

TO: Prospective Bidders

This Addendum forms part of the Contract Documents and modifies the original Bidding Documents issued by the Whole Village Family Resource Center for the Parking Lot Replacement project dated March, 2023. **Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so will subject the Bidder to disqualification.**

I. Pre-Bid Meeting

A Pre-Bid meeting was held at the Whole Village Family Resource Center on March 16, 2023 at 9:00 a.m. Attendees are listed on the attached Pre-Bid Meeting Attendance Log. Nick Sceggell, P.E., of DuBois & King, Inc. described key elements of the project. **The following addresses questions received at the pre-bid meeting, as well as subsequent questions from prospective bidders.**

II. Contract Documents (Plan) Changes

1. **Sheet C3** – Topographic Survey. Add drawing to bid set.
2. **Sheet C4** – Site Removals Plan. Remove and replace in its entirety.
3. **Sheet C5** – Site Layout Plan. Remove and replace in its entirety.
4. **Sheet C7** – Site Details. Remove and replace in its entirety.

III. Contract Documents (Specification) Changes

1. None

IV. Questions & Answers

- 1. Will the contractor be able to shut down the parking lot for two days for paving?**
During construction, the contractor will need to work with the owner to provide access to tenants. At the time of paving, the owner will work with the contractor to restrict access for a period of two days on a weekend.
- 2. Is a SWPPP required?**
There will be less than 1 acre of disturbance. Therefore, a SWPPP will not be required.
- 3. Is NHDOT 304.4 an acceptable substitute for base gravels?**
See revised sheet C7. NHDOT 304.4 shall be used for gravel base course and NHDOT 304.5 shall be used for gravel sub-base course.
- 4. The sidewalk detail shows insulation. Will this be required?**
Insulation will be required below CIP concrete sidewalk.
- 5. For compliance with BABAA, does every item require a certificate?**
Contractor shall include Manufacturer's Certification for BABAA requirements with all applicable submittals.
- 6. For compaction testing, will you require a standard proctor or a modified proctor?**
A Modified Proctor (ASTM D1557, Method C) will be required.
- 7. Is compaction testing of the asphalt going to be required?**
Yes.
- 8. For existing CBs are the existing grates being re-used?**
Existing frames and grates are to be reused. All sediment in existing catch basins and storm drain shall be removed and storm drains shall be flushed.
- 9. Utility Locating?**
The contractor is responsible for verifying and determining all utilities (above and below ground) within the project limits, and to take the necessary precautions to protect utilities during construction. See Utility & Excavation Note #1 on sheet C2.

V. Additional Information

- 1. None**

This document constitutes Addendum 1 for this project.



831 Union Avenue, Suite 2
 Laconia, NH 03246
 Tel: (603) 524-1166
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ENGINEERING • PLANNING • MANAGEMENT • DEVELOPMENT

PRE-BID CONFERENCE ATTENDANCE SHEET

Date: March 16, 2023 @ 9:00 AM

PROJECT: Whole Village Family Resource Center Parking Lot Replacement
 D&K Project No.: 227991
 (Print Clearly)

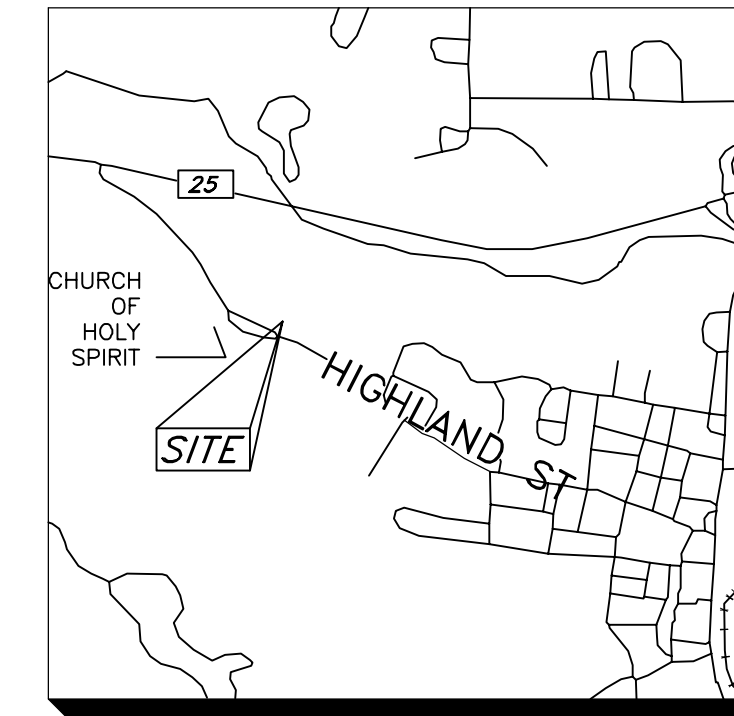
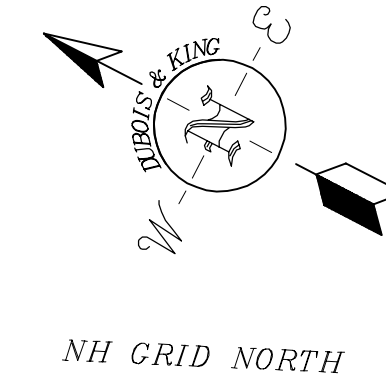
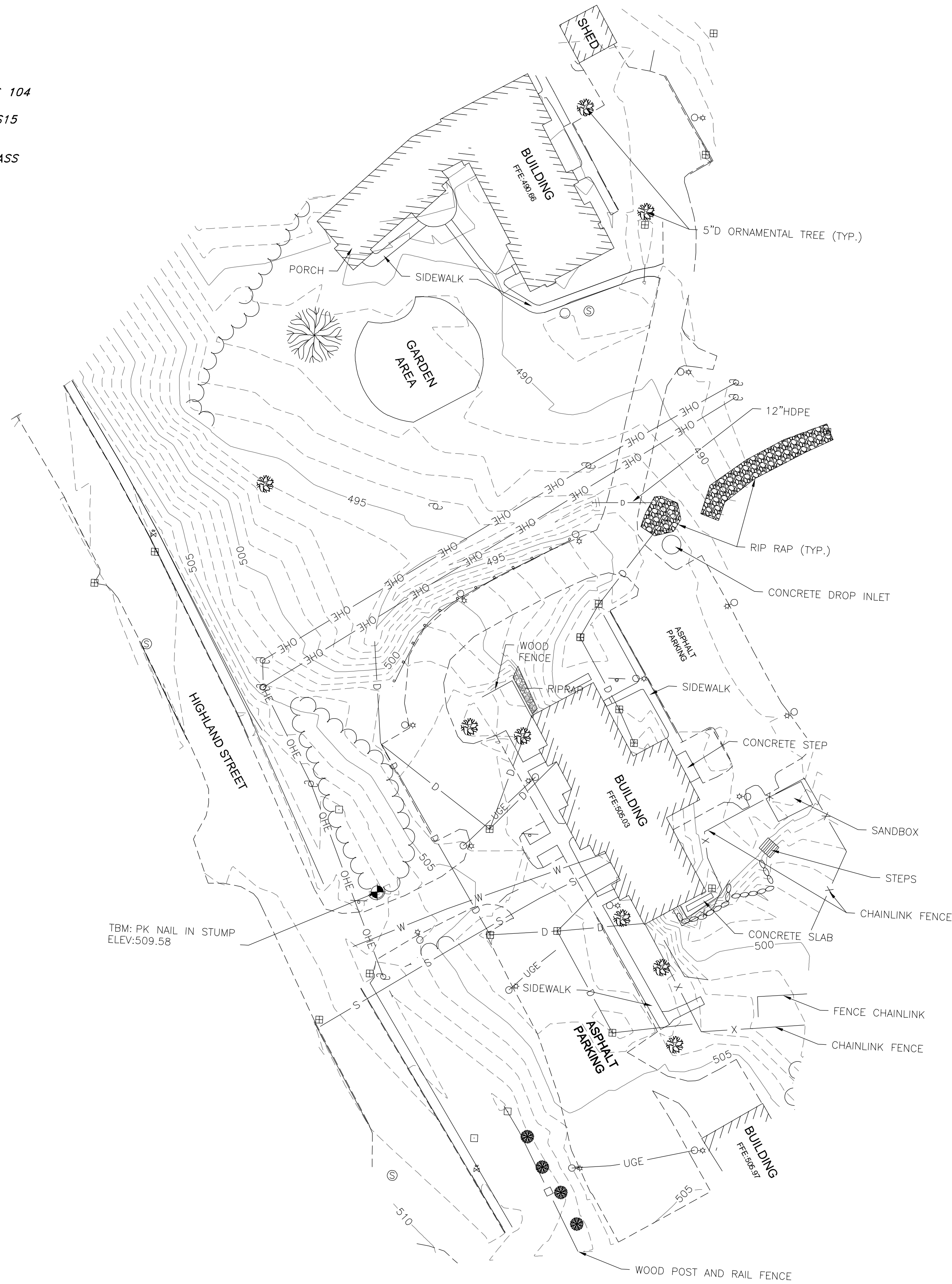
NAME	COMPANY (AFFILIATION)	TELEPHONE NO. / FAX NO.	EMAIL ADDRESS
Nicholas Scagge	D&K	603-524-1166 x4502	nscagge1@dubois-king.com
Dave Cribbie	GW Brooks	603-539-6811	Dave@GWBrooks.com
KEITH PIERCE	PIERCE GRADING	617-721-7995	piercegrading@yahoo
Ron Villaverde	GMZ Asphalt	call 603-344-8902 603	Ron@guiniasphalt.com
Mary Ellen Parker Tim Ulman	Northwoods Excavating	862-785-3162	Maryellen.northwoods excavating@gmail.com
Bill Sherry	Granite United Way	603-625-6939 x230	william.sherry@granite4us.org

NOTE:

1. OPUS OBSERVATIONS TAKEN ON POINTS 104 AND POINT 1 (40 MINUTES EACH)
2. TRAVERSE PERFORMED WITH A LEICA TS15 TOTAL STATION AND LEICA CS15 DATA COLLECTOR
3. TRAVERSE WAS ADJUSTED USING COMPASS RULE WITH A CLOSURE OF 1/3533
4. TAX MAP 105 LOT 7 PLYMOUTH (GRAFTON CO.) NH

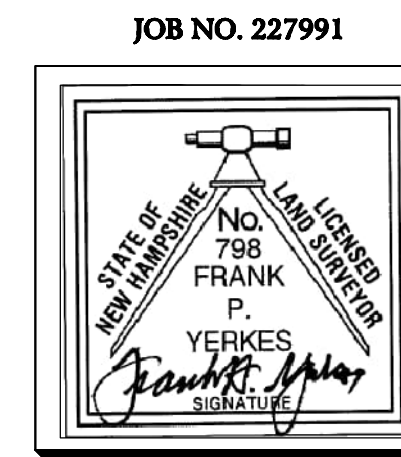
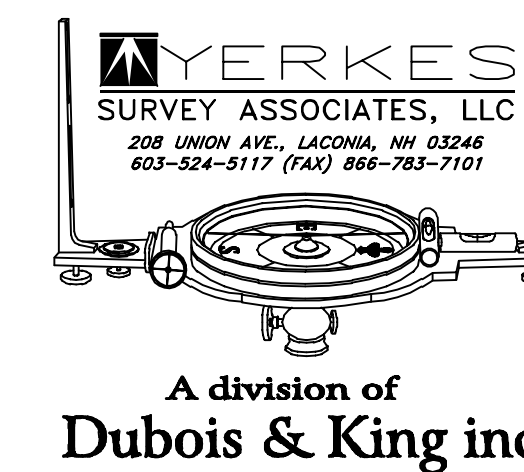
LEGEND

	PROPERTY LINE
	FENCE
	DITCH
	OVERHEAD UTILITY
	UNDERGROUND ELECTRIC
	WATER PIPE
	GAS
	EDGE OF ROAD
	CURB
	SIDEWALK
	TREE LINE
	MINOR CONTOUR
	MAJOR CONTOUR
	CATCH BASIN
	SEWER MANHOLE
	GAS MANHOLE
	GAS SHUT OFF
	GATE VALVE
	WATER SHUT OFF
	HYDRANT
	FOUND MONUMENT
	FOUND IRON PIPE OR PIN
	BENCH MARK
	SIGN
	UTILITY POLE
	GUY WIRE
	SHRUBS
	DECIDUOUS TREE



LOCATION MAP

**EXISTING CONDITIONS PLAN
OF LAND OF
WHOLE VILLAGE
FAMILY RESOURCE CENTER
PLYMOUTH, NH**



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MANAGEMENT • DEVELOPMENT
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SPRINGFIELD, VT
BEDFORD, NH
LACONIA, NH
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PROFESSIONAL SEAL

**NOT FOR
CONSTRUCTION
PRELIMINARY
PLANS**

NO.	DATE	UPDATES	BY	CK'D
1	03-14-2023		MBP	DMB

WHOLE VILLAGE
FAMILY RESOURCE
258 HIGHLAND ST
PLYMOUTH, NH
(603)-536-3720

WHOLE VILLAGE
FAMILY RESOURCE
CENTER
&
258 HIGHLAND ST

SHEET TITLE

SURVEY

DRAWN BY MP	DATE FEB2023
CHECKED BY FPY	D&K PROJECT # 227991
PROJ. ENG. JT	D&K ARCHIVE #

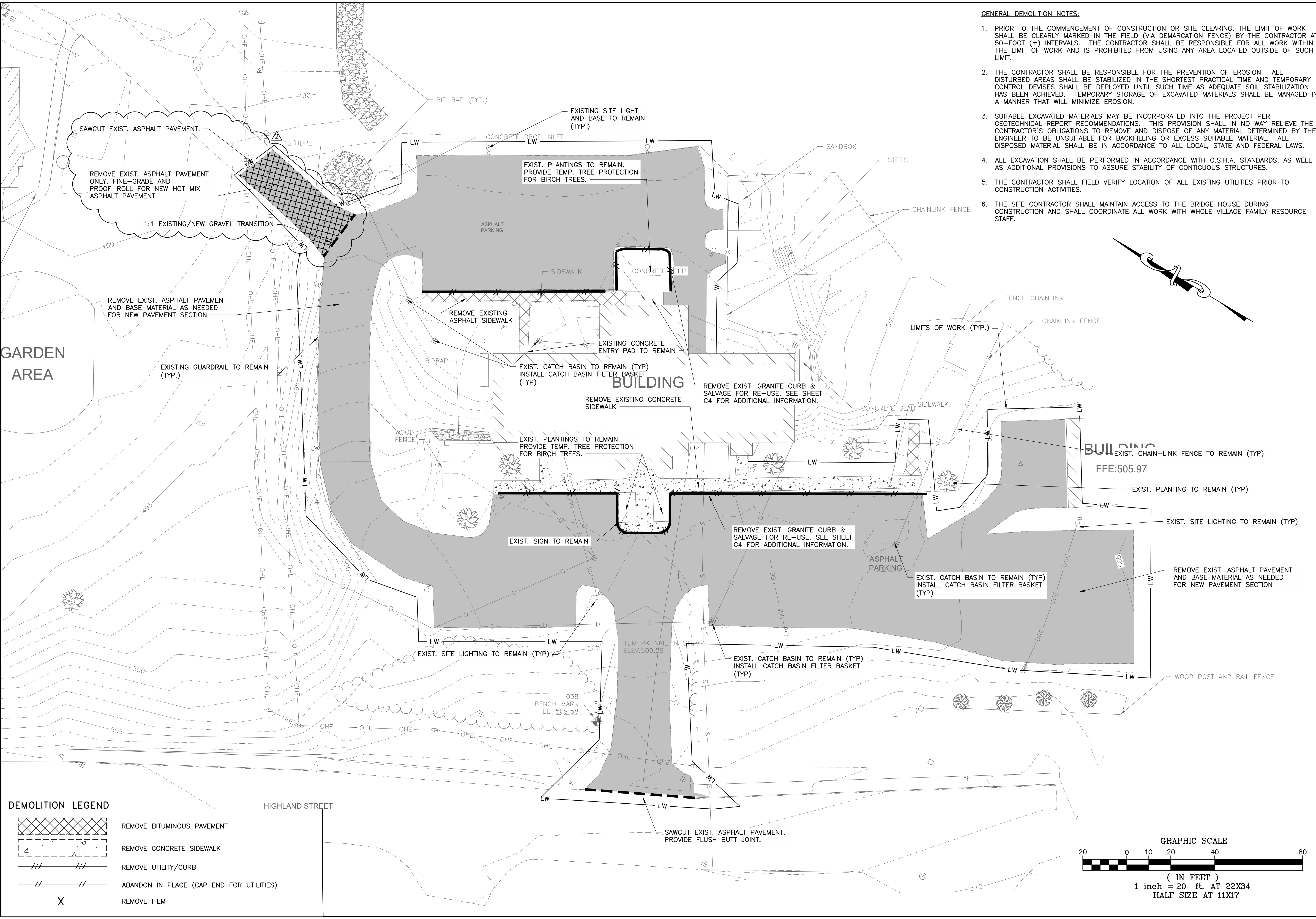
SHEET NUMBER

C3

SHEET 3 OF 10

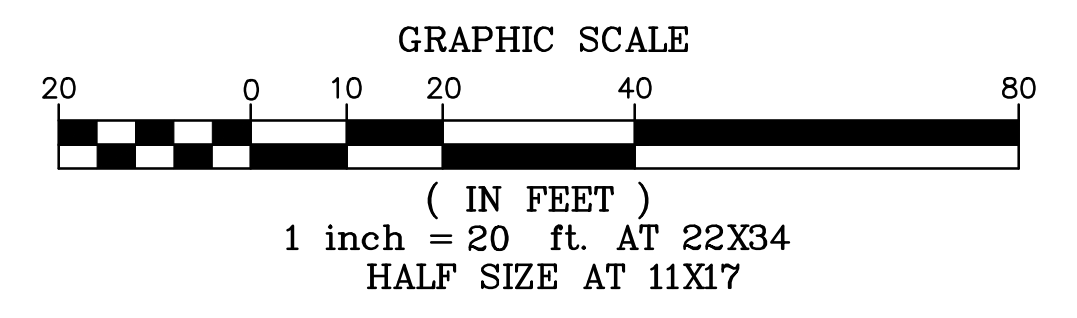
GENERAL DEMOLITION NOTES:

1. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR SITE CLEARING, THE LIMIT OF WORK SHALL BE CLEARLY MARKED IN THE FIELD (VIA DEMARCATION FENCE) BY THE CONTRACTOR AT 50-FOOT (±) INTERVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK WITHIN THE LIMIT OF WORK AND IS PROHIBITED FROM USING ANY AREA LOCATED OUTSIDE OF SUCH LIMIT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF EROSION. ALL DISTURBED AREAS SHALL BE STABILIZED IN THE SHORTEST PRACTICAL TIME AND TEMPORARY CONTROL DEVICES SHALL BE DEPLOYED UNTIL SUCH TIME AS ADEQUATE SOIL STABILIZATION HAS BEEN ACHIEVED. TEMPORARY STORAGE OF EXCAVATED MATERIALS SHALL BE MANAGED IN A MANNER THAT WILL MINIMIZE EROSION.
3. SUITABLE EXCAVATED MATERIALS MAY BE INCORPORATED INTO THE PROJECT PER GEOTECHNICAL REPORT RECOMMENDATIONS. THIS PROVISION SHALL IN NO WAY RELIEVE THE CONTRACTOR'S OBLIGATIONS TO REMOVE AND DISPOSE OF ANY MATERIAL DETERMINED BY THE ENGINEER TO BE UNSUITABLE FOR BACKFILLING OR EXCESS SUITABLE MATERIAL. ALL DISPOSED MATERIAL SHALL BE IN ACCORDANCE TO ALL LOCAL, STATE AND FEDERAL LAWS.
4. ALL EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH O.S.H.A. STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
5. THE CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.
6. THE SITE CONTRACTOR SHALL MAINTAIN ACCESS TO THE BRIDGE HOUSE DURING CONSTRUCTION AND SHALL COORDINATE ALL WORK WITH WHOLE VILLAGE FAMILY RESOURCE STAFF.



DEMOLITION LEGEND

	REMOVE BITUMINOUS PAVEMENT
	REMOVE CONCRETE SIDEWALK
	REMOVE UTILITY/CURB
	ABANDON IN PLACE (CAP END FOR UTILITIES)
	REMOVE ITEM

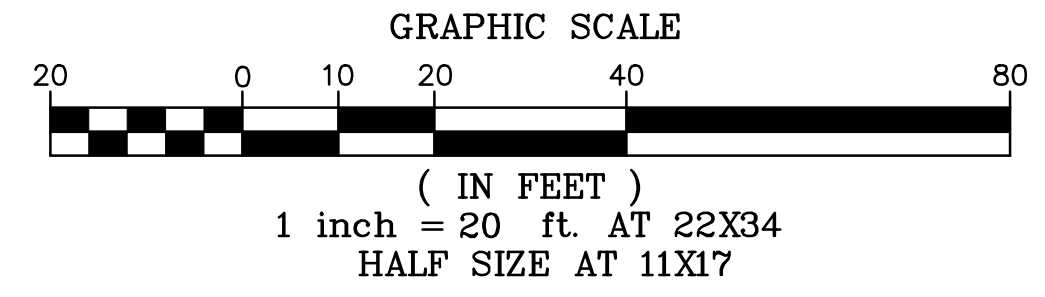
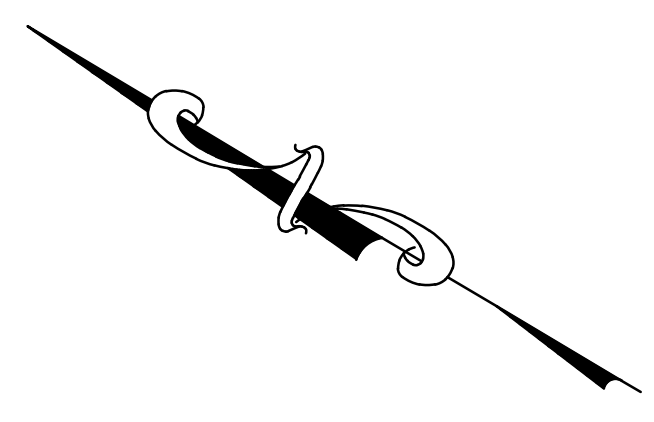
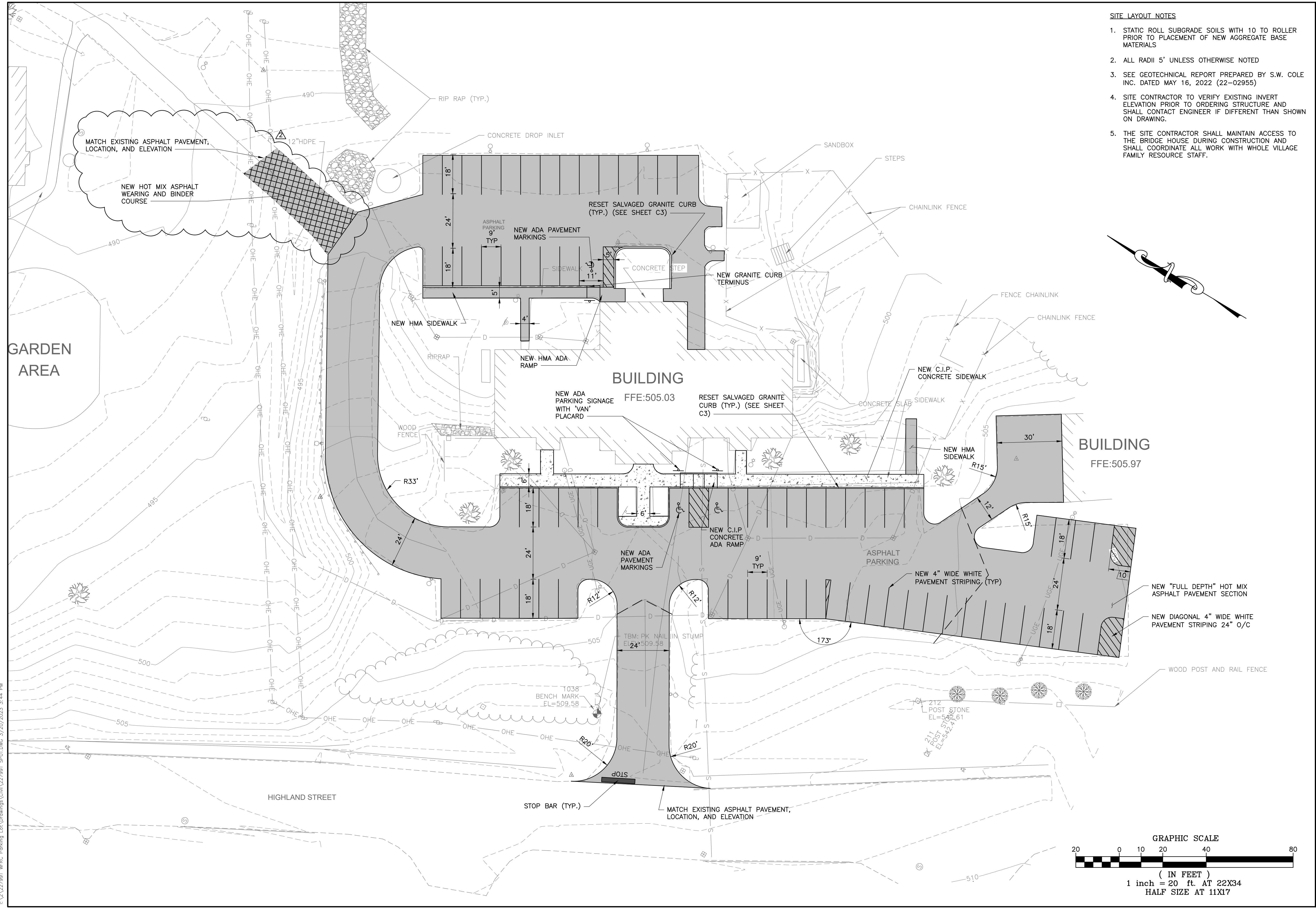


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C4

SITE LAYOUT NOTES

1. STATIC ROLL SUBGRADE SOILS WITH 10 TO ROLLER PRIOR TO PLACEMENT OF NEW AGGREGATE BASE MATERIALS
2. ALL RADII 5' UNLESS OTHERWISE NOTED
3. SEE GEOTECHNICAL REPORT PREPARED BY S.W. COLE INC. DATED MAY 16, 2022 (22-02955)
4. SITE CONTRACTOR TO VERIFY EXISTING INVERT ELEVATION PRIOR TO ORDERING STRUCTURE AND SHALL CONTACT ENGINEER IF DIFFERENT THAN SHOWN ON DRAWING.
5. THE SITE CONTRACTOR SHALL MAINTAIN ACCESS TO THE BRIDGE HOUSE DURING CONSTRUCTION AND SHALL COORDINATE ALL WORK WITH WHOLE VILLAGE FAMILY RESOURCE STAFF.



ISSUED FOR BID		---	---	---
NOT FOR CONSTRUCTION		---	---	---
NO.	DATE	ISSUED FOR BID	DESCRIPTION	BY
1	03-20-2023	ADDENDUM 01		JSK
2	03-08-2023			

WHOLE VILLAGE FAMILY RESOURCE CENTER
258 HIGHLAND ST.
PLYMOUTH, NH 03264
603-536-3720

PARKING LOT REPLACEMENT
WHOLE VILLAGE FAMILY RESOURCE CENTER

SHEET TITLE
SITE LAYOUT PLAN

DRAWN BY	DATE
MTM	MAR 2023
CHECKED BY	D&K PROJECT #
JSK	227991
PROJ. ENG.	D&K ARCHIVE #
JSK	

SHEET NUMBER
C5
SHEET 5 OF 10

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NO.	DATE	DESCRIPTION	BY	CHK'D
1	03-17-2023	ADDENDUM 01	JSK	
1	03-08-2023	ISSUED FOR BID	JSK	

WHOLE VILLAGE
FAMILY RESOURCE
CENTER

258 HIGHLAND ST.
PLYMOUTH, NH 03264
603-536-3720

PARKING LOT
REPLACEMENT

WHOLE VILLAGE
FAMILY RESOURCE
CENTER

SHEET TITLE

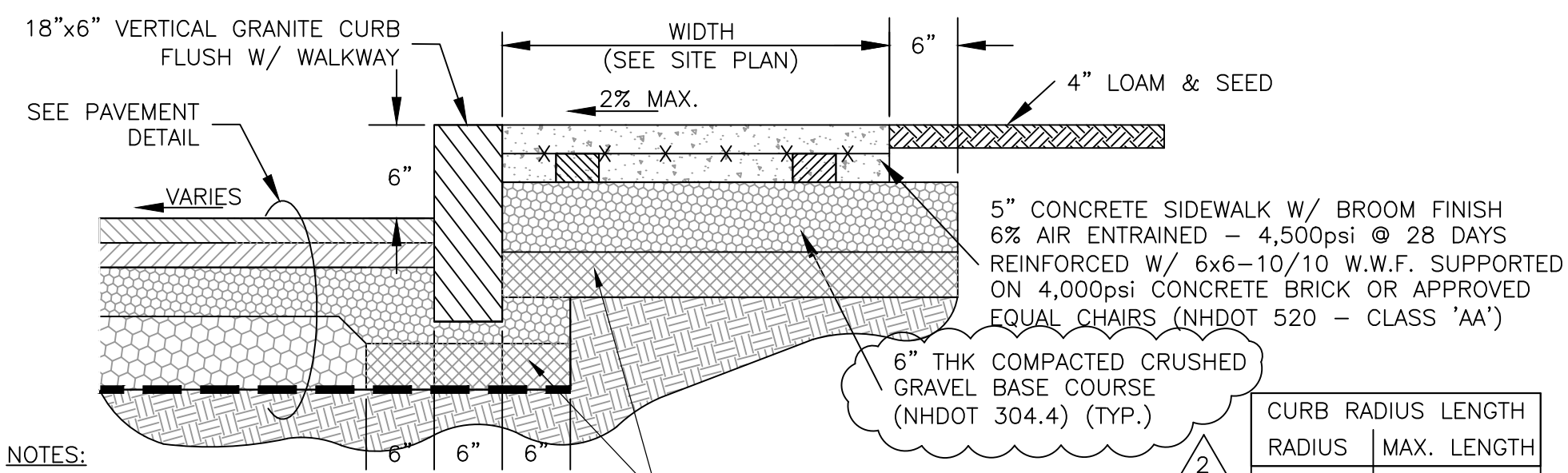
SITE DETAILS

DRAWN BY MTM	DATE MAR 2023
CHECKED BY JSK	D&K PROJECT # 227991
PROJ. ENG. JSK	D&K ARCHIVE #

SHEET NUMBER

C7

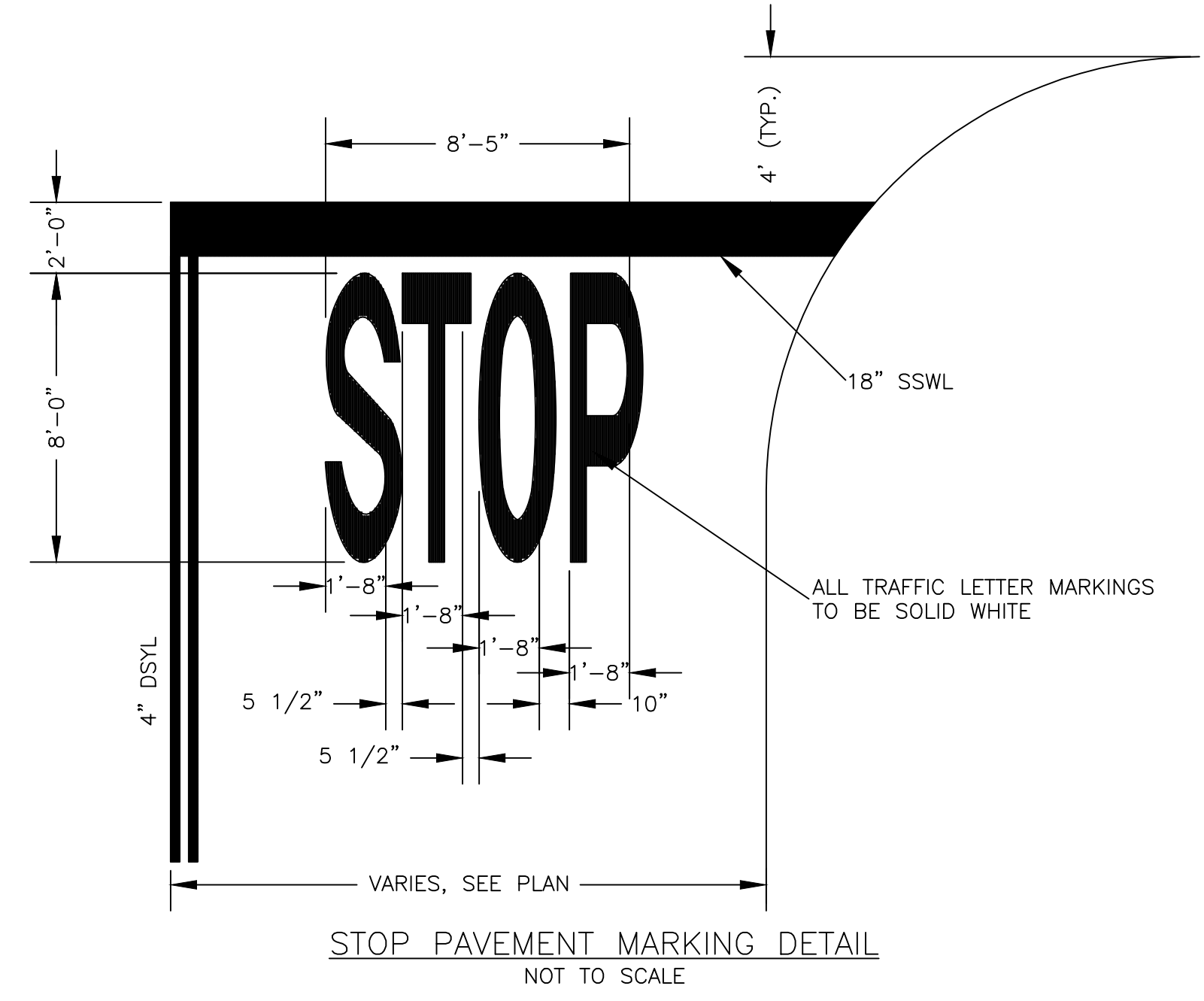
SHEET 7 OF 10



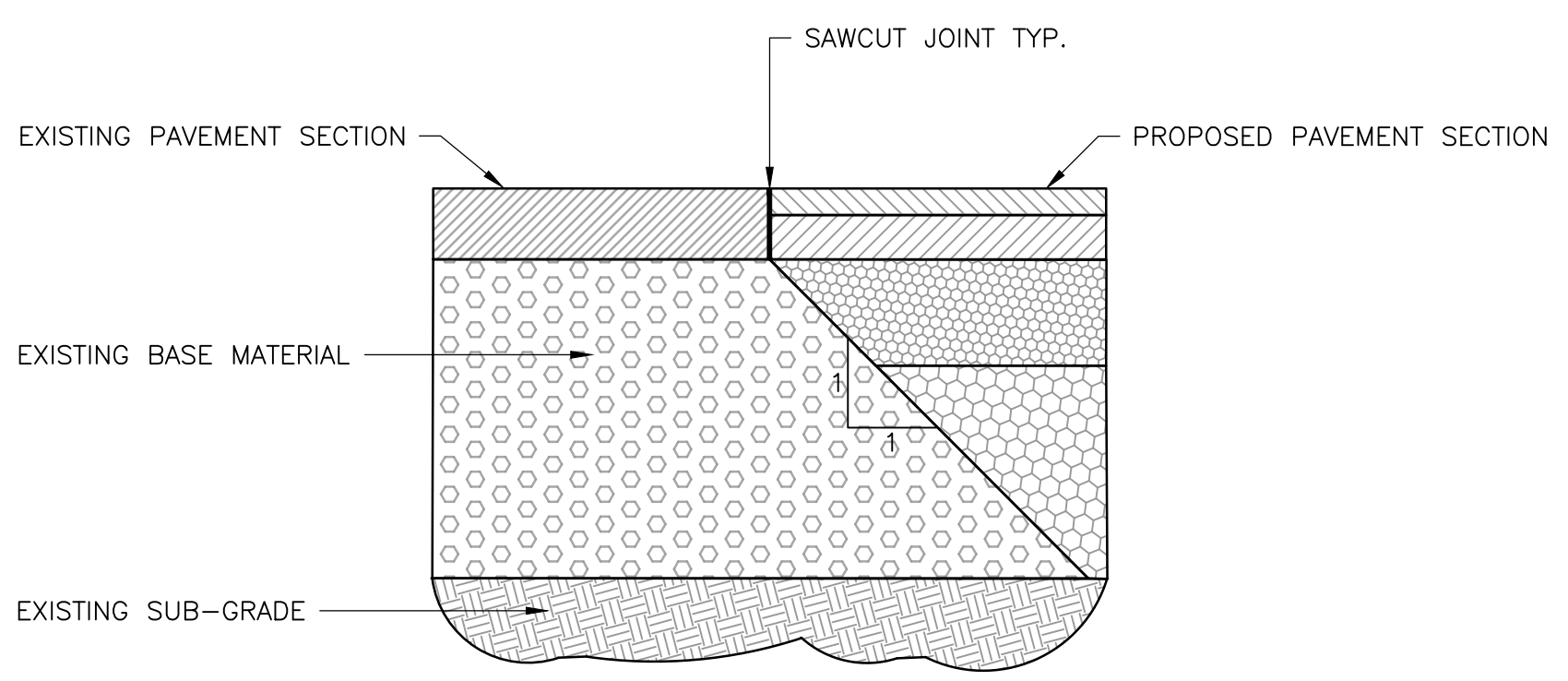
- NOTES:
- SEE SITE PLAN FOR LIMITS OF CURBING
 - MAXIMUM ALLOWABLE SIDEWALK SLOPE IN ALL DIRECTIONS SHALL BE IN ACCORDANCE WITH AMERICAN DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN; CROSS-SLOPE SHALL BE NO LESS THAN 1% AND NO GREATER THAN 2%
 - ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH NHDOT STANDARD SPECIFICATIONS
 - ADJOINING STONES SHALL HAVE THE SAME (OR APPROX.) LENGTH
 - MINIMUM LENGTH OF CURB STONES = 3'
 - MAXIMUM LENGTH OF CURB STONES = 10'
 - MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART
 - REMOVE ALL UNSUITABLE MATERIAL TO THE SATISFACTION OF THE ENGINEER
 - IN THE EVENT BEDROCK IS ENCOUNTERED, EXCAVATE BEDROCK TO A MINIMUM OF 6" BELOW THE SUB-BASE MATERIAL AND REPLACE WITH BANKRUN GRAVEL
 - SUBGRADE MATERIAL SHALL BE SHAPED AND COMPACTED TO AN EVEN SURFACE. ALL SOFT AND YIELDING MATERIAL SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIAL
 - 1/4" RADIUS x 1/2" WIDE x 1/2" DEPTH TOOLED CONTROL JOINTS SHALL BE LOCATED 5' O.C.
 - 1/2" EXPANSION JOINTS SHALL CONFORM TO AASHTO M153, TYPE III OR AASHTO M213 AND BE LOCATED 20' O.C.
 - PROTECTIVE COATING SHALL BE SILANE/SILOXANE AND APPLIED IN ACCORDANCE WITH NHDOT 534.2.2 AND 534.3; RESPECTIVELY

CURB RADIUS	LENGTH
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'

CONCRETE SIDEWALK w/ VERTICAL GRANITE CURB DETAIL
NOT TO SCALE

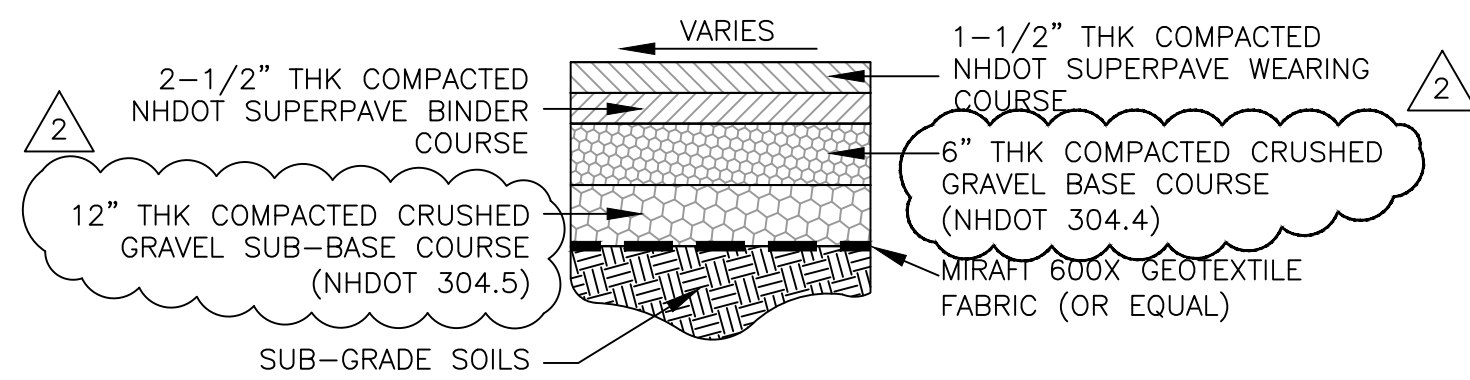


STOP PAVEMENT MARKING DETAIL
NOT TO SCALE



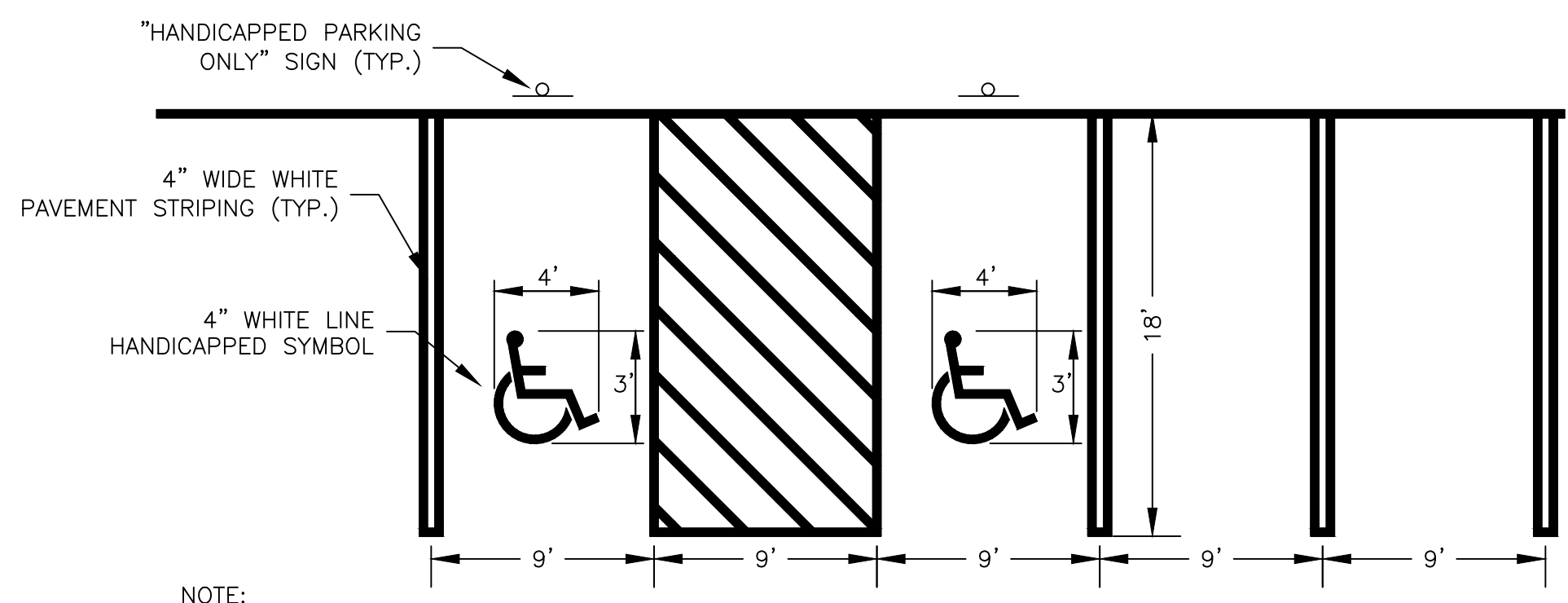
SAWCUT TRANSITION

- Note:
- APPLY TACK COAT TO CLEAN, SMOOTH VERTICAL SAWCUT EDGE OF EXISTING PAVEMENT



- NOTES:
- REMOVE ALL UNSUITABLE MATERIAL BELOW PAVEMENT SECTION TO THE SATISFACTION OF THE ENGINEER.
 - STATIC ROLL SUB-GRADE SOILS WITH A 10-TON ROLLER PRIOR TO PLACEMENT OF GRAVELS
 - IN NON-CURB AREAS PAVEMENT SUB-BASE MATERIAL SHALL EXTEND 3' BEYOND EDGE-OF-PAVEMENT.

PARKING LOT PAVEMENT DETAIL
NOT TO SCALE



- NOTE:
- ALL PAVEMENT MARKINGS/STRIPING SHALL CONFORM TO LOCAL AND STATE REGULATIONS.

MULTI-HANDICAP & STANDARD PARKING PAVEMENT MARKING DETAIL
NOT TO SCALE