

ADDENDUM NO. 1

April 24, 2023
S21015

RE: **LACONIA HOUSING & REDEVELOPMENT AUTHORITY
RANDLETT STREET SITE IMPROVEMENTS**

FROM: DuBOIS & KING, INC.
208 UNION AVE
LACONIA, NH 03246
603-524-1166

TO: **PROSPECTIVE BIDDERS**

This Addendum forms part of the Contract Documents and modifies the original Bidding Documents issued by the Laconia Housing and Redevelopment Authority Randlett Street Site Improvements project dated March 2023. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so will subject the Bidder to disqualification.

I. Contract Documents (Plan) Changes:

1. Sheets 2-5 of 8 are being reissued. There was old line work showing (specifically near the 6 new proposed parking spaces between Buildings 62 and 72 and the northeaster walkway between Buildings 54 and 58) that should have been removed. This change should not affect the bidding quantities.

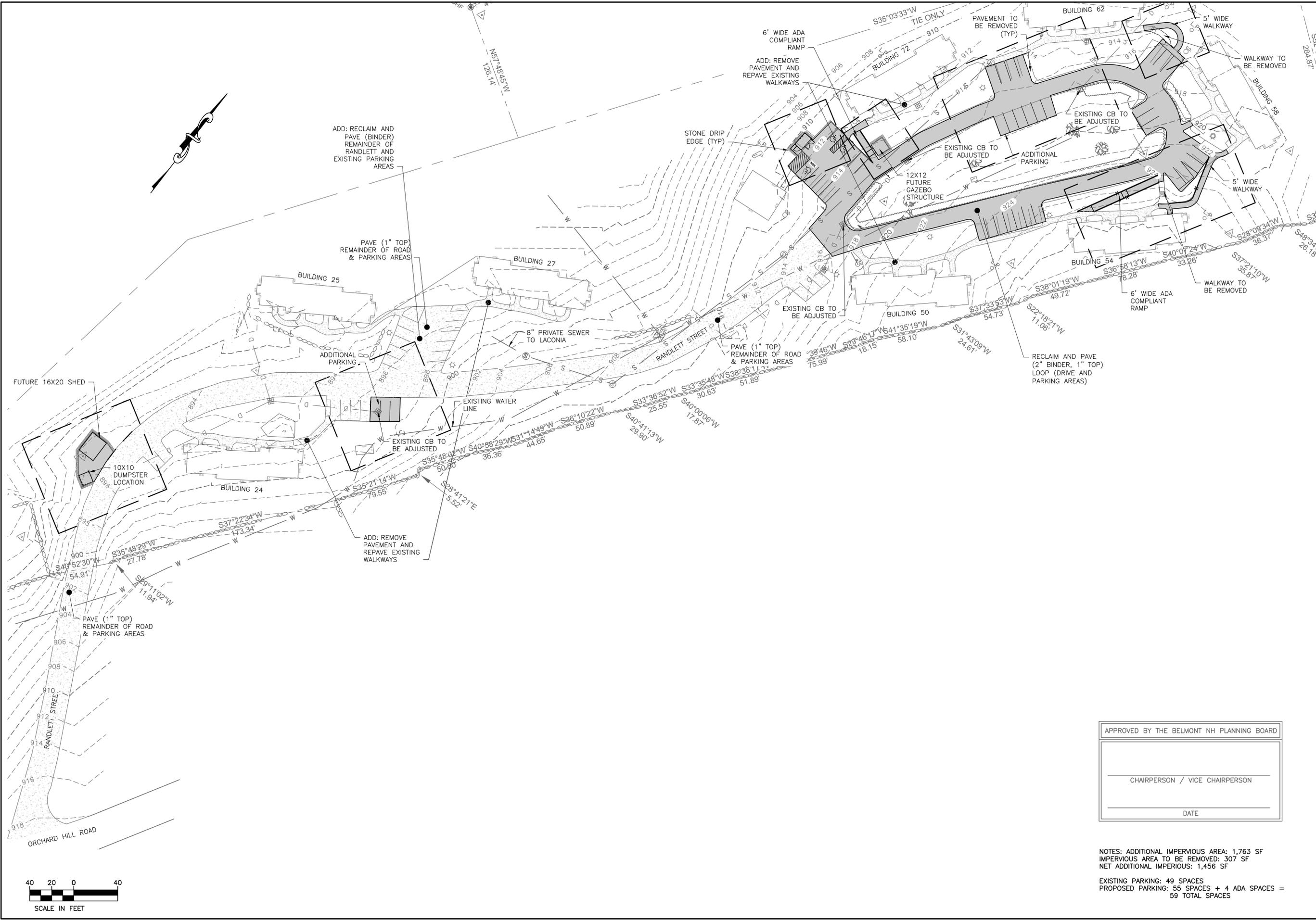
II. Contract Documents (Specification) Changes:

1. None

III. Questions Received:

1. *Are bid bonds and performance bonds required?*
 - a. Bid bonds, performance ponds, and payment bonds are required.
 - b. Instructions to Bidders, page 5 of 10: “A Bid must be accompanied by Bid security made payable to Owner in an amount of 5% percent of Bidder’s maximum Bid price (determined by adding the base bid and all alternates) and in the form of a Bid bond issued by a surety...”
 - c. Standard General Conditions, page 21 of 70: “Contractor shall furnish a performance bond and a payment bond, each in an amount at least equal to the Contract Price, as security for the faithful performance and payment of Contractor’s obligations under the Contract. These bonds must remain in effect until one year after the date when final payment becomes due...”

2. *Is certified payroll required?*
 - a. No, there are no Davis-Bacon / certified payroll requirements for this project.
3. *Are the gazebo, dumpster enclosures, and shed part of the project?*
 - a. The gazebo, dumpster enclosures, shed, handrails, and signs are not part of this project and will be constructed by the Owner under a separate contract.
4. *Where will residents be parking during construction?*
 - a. Laconia Housing Authority will communicate with residents to provide alternative parking arrangements when necessary during construction.
5. *Are disturbed surfaces being loamed and seeded? Is there a proposed gravel shoulder?*
 - a. All un-paved disturbed surfaces shall be loamed and seeded for stabilization. A gravel shoulder, to tie into existing grades, shall be constructed around the main road, including the loop. Shoulders are not necessary around walkways or parking areas.
 - b. As stipulated in the Measurement and Payment Section 01 1500:
 - i. The costs for installing materials for shoulders and fine grading are considered incidental to Bituminous Pavement.
 - ii. The cost for Loam and Seed and Restoration of Surfaces is considered incidental to Mobilization/Demobilization.



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 LACONIA, NH 03246
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 WWW.DUBOIS-KING.COM

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NO.	DATE	DESCRIPTION	BY	CHKD.
1	4/17/2023	REMOVE OLD LINENWORK	SAW	CKD

LACONIA HOUSING &
 REDEVELOPMENT
 AUTHORITY
 32 CANAL STREET
 LACONIA, NH
 03246

RANDLETT STREET
 IMPROVEMENTS
 BELMONT, NH

SHEET TITLE

OVERALL PLAN

DRAWN BY	DATE
TMV	JAN 2023
CHECKED BY	D&K PROJECT #
NJS	S21015
PROJ. ENG.	D&K ARCHIVE #
NJS	

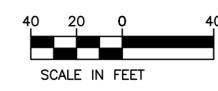
SHEET NUMBER
C-1
 SHEET 2 OF 8

APPROVED BY THE BELMONT NH PLANNING BOARD

 CHAIRPERSON / VICE CHAIRPERSON

 DATE

NOTES: ADDITIONAL IMPERVIOUS AREA: 1,763 SF
 IMPERVIOUS AREA TO BE REMOVED: 307 SF
 NET ADDITIONAL IMPERVIOUS: 1,456 SF
 EXISTING PARKING: 49 SPACES
 PROPOSED PARKING: 55 SPACES + 4 ADA SPACES =
 59 TOTAL SPACES



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1	4/17/2023	REMOVE OLD LINENWORK	SAW	CKD

LACONIA HOUSING & REDEVELOPMENT AUTHORITY
 32 CANAL STREET
 LACONIA, NH
 03246

RANDLETT STREET IMPROVEMENTS
 BELMONT, NH

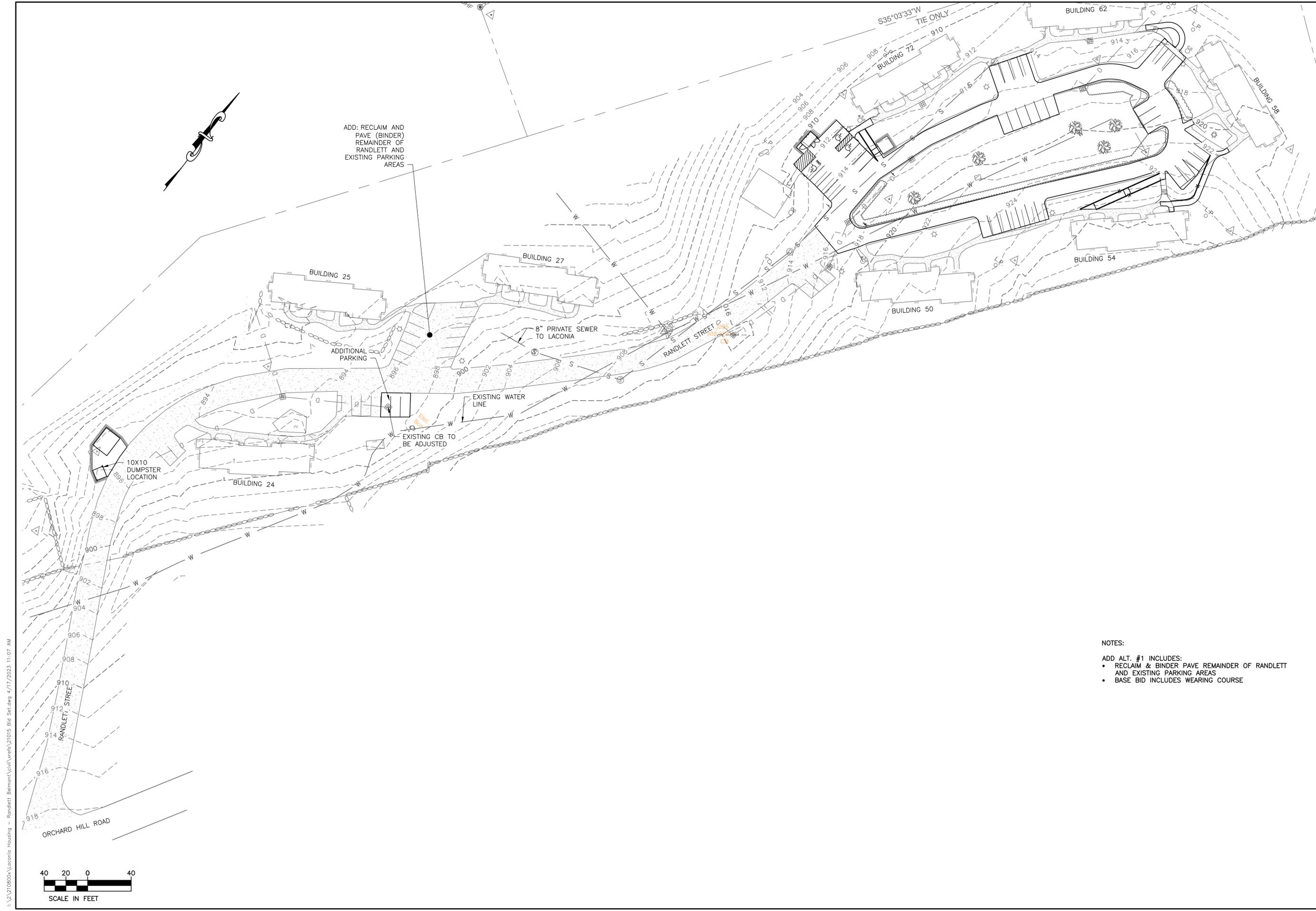
SHEET TITLE
 BASE BID

DRAWN BY	DATE
TMV	JAN 2023
CHECKED BY	D&K PROJECT #
NJS	S21015
PROJ. ENG.	D&K ARCHIVE #
NJS	

SHEET NUMBER
C-1a
 SHEET 3 OF 8

- NOTES:
- BASE BID INCLUDES:
 - RECLAIM & PAVE LOOP INCLUDING MAIN DRIVE AND PARKING AREAS
 - REMOVE EXISTING WALKWAYS
 - CONSTRUCT AND PAVE NEW WALKWAYS
 - PAVE (TOP - 1") REMAINDER OF RANDLETT STREET, INCLUDING EXISTING PARKING AREAS

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PROFESSIONAL SEAL

PERMITTING SET
 NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	BY	CHKD.
1	4/17/2023	REMOVE OLD LINENWORK	SAW	CKD

LACONIA HOUSING &
 REDEVELOPMENT
 AUTHORITY
 32 CANAL STREET
 LACONIA, NH
 03246

RANDETT STREET
 IMPROVEMENTS
 BELMONT, NH

SHEET TITLE

ADD. ALT #1

DRAWN BY	DATE
TMV	JAN 2023
CHECKED BY	D&K PROJECT #
NJS	S21015
PROJ. ENG.	D&K ARCHIVE #
NJS	

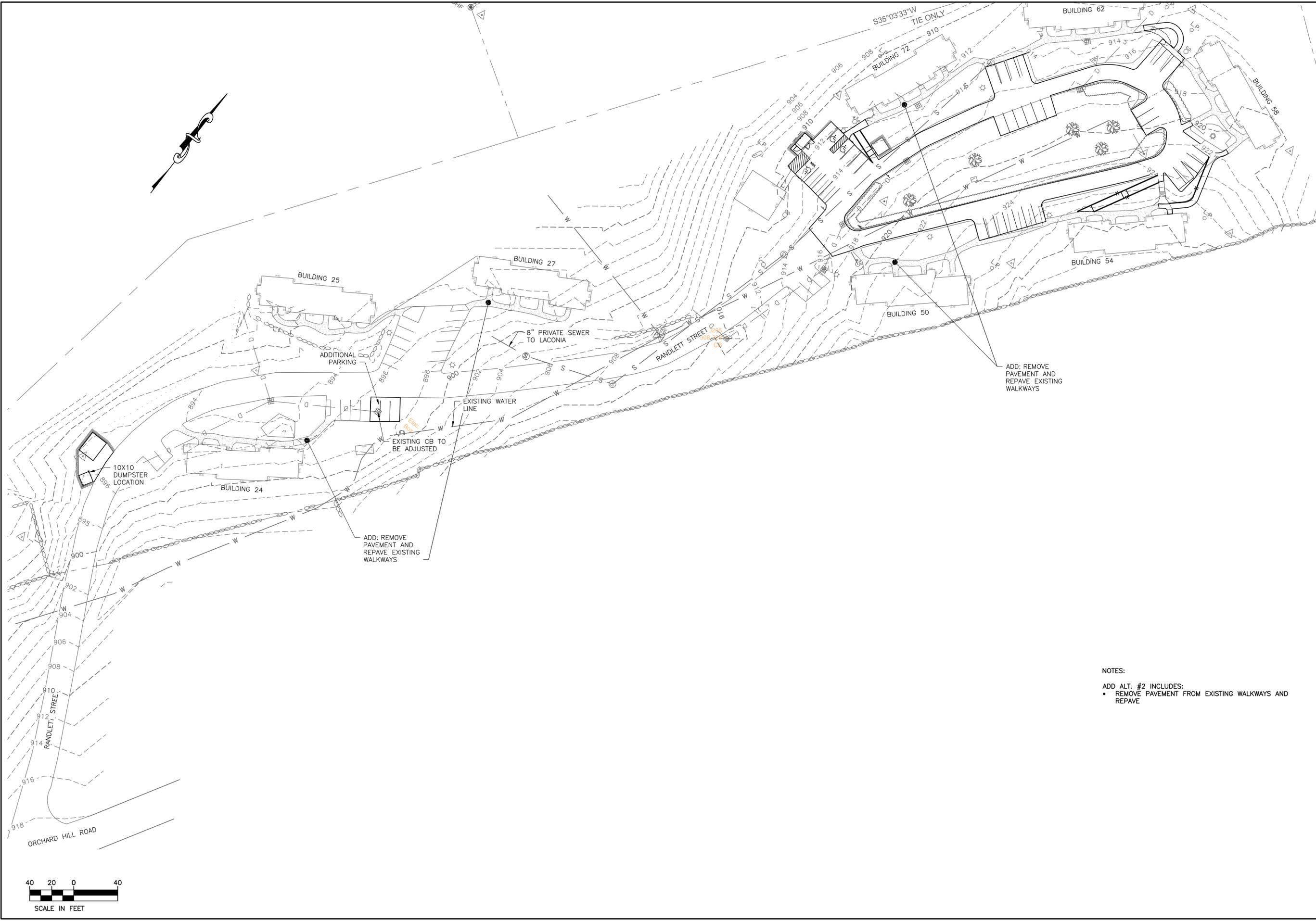
SHEET NUMBER

C-1b

SHEET 4 OF 8

NOTES:

- ADD ALT. #1 INCLUDES:
 - RECLAIM & BINDER PAVE REMAINDER OF RANDETT AND EXISTING PARKING AREAS
 - BASE BID INCLUDES WEARING COURSE



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PERMITTING SET
 NOT FOR CONSTRUCTION

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1	4/17/2023	REMOVE OLD LINENWORK	SAW	CKD

LACONIA HOUSING &
 REDEVELOPMENT
 AUTHORITY
 32 CANAL STREET
 LACONIA, NH
 03246

RANDETT STREET
 IMPROVEMENTS
 BELMONT, NH

SHEET TITLE

 ADD. ALT #2

DRAWN BY TMV	DATE JAN 2023
CHECKED BY NJS	D&K PROJECT # S21015
PROJ. ENG. NJS	D&K ARCHIVE #

SHEET NUMBER

C-1c

 SHEET 5 OF 8

NOTES:
 ADD ALT. #2 INCLUDES:
 • REMOVE PAVEMENT FROM EXISTING WALKWAYS AND REPAVE

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